

# NEW SINGLE FAMILY RESIDENCE

20 ALAN DRIVE  
ESSEX COUNTY

SHORT HILLS  
NEW JERSEY  
LOT : 22 BLOCK : 2503

## ZONING CALCULATION FORM

NOTE: For permit applications for all new dwellings and residential additions, applicant shall completely fill in all existing, proposed and required information on both sides of calculation form. For permit applications limited to accessory structures such as decks, patios, detached garages, etc., applicant shall fill out sections 1, 2, and 5.



### The Township of Millburn

375 Millburn Avenue, Millburn, NJ 07041

(973) 564-7055

Fax: (973) 379-3927

#### BUILDING & ZONING DEPARTMENT

1. Worksite Address:	20 Alan Drive		Block	2503	Lot	22	Map	
Owner in Fee	Mr. Bronshteyn		Zone District	R-4 Residential				
Owner Address	20 Alan Drive		Telephone No.					

2. Lot Characteristics:	Existing	Proposed	R-3	R-4	R-5	R-6	See Section	Conforms?
Lot Area:	27,808 s.f.	28,000 s.f.	20,000 s.f.	14,000 s.f.	6,000 s.f.	600.2a.1.a)	(Yes) No	(Yes) No
Lot Width:	102.67 ft.	102.67 ft.	116 ft.	100 ft.	78 ft.	60 ft.	600.2a.1.b)	(Yes) No
Lot Depth:	243 ft.	243 ft.	179 ft.	180 ft.	126 ft.	90 ft.	600.2a.1.c)	(Yes) No

3. Setback Requirements:	Existing	Proposed	Required Minimums:			See Section	Conforms?		
Front Setback - ft.*	41.30	41.18	ft.	Established Setback (40 ft. min.)	600.2a.1.d)	(Yes) No	(Yes) No		
Front Setback - ft. (for corner lots only)			ft.	Established Setback (40 ft. min.)	600.2a.1.d)	Yes No	Yes No		
Side Yard Setback (Complete applicable lines only)	Existing	Proposed	Required Minimums:			See Section	Conforms?		
Side Yard Setback In R-5 & R-6 Districts:	Left Side	Right Side	Left Side	Right Side	Bldg. Hgt.	R-5	R-6	See Section	Conforms?
Side Setback for building segments to 18' in hgt. - ft.	ft.	ft.	ft.	ft.	ft.	12	8	600.2a.1.e)(1)	Yes No
Add'l Side Setback for building segments >18' in hgt. - ft.	ft.	ft.	ft.	ft.	ft.	0.33 per ft.	0.30 per ft.	600.2a.1.e)(1)(b)	Yes No
Side Setback for building segments to 32' in hgt. - ft.	ft.	ft.	ft.	ft.	ft.	16	12	600.2a.1.e)(1)(c)	Yes No
Side Yard Setback In R-3 & R-4 Districts:	Left Side	Right Side	Left Side	Right Side	Bldg. Hgt.	R-3	R-4	See Section	Conforms?
Side Setback 1-story bldg up to 18' in hgt. - ft.	ft.	ft.	ft.	ft.	ft.	16	16	600.2a.1.a)(2)	Yes No
Side Setback for 2nd floor or bldg >18' in hgt. - ft.	ft.	ft.	ft.	ft.	ft.	25	22	600.2a.1.a)(2)(b)	Yes No
Side Setback for garages facing side property line - ft.	ft.	ft.	ft.	ft.	ft.	28	28	600.2a.1.a)(2)(c)	Yes No

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3. Setback Requirements:	Existing	Proposed	Required Minimums:			See Section	Conforms?
Combined Side Yard	- ft.	- % 42.75 ft.	36.43 %	35.93 ft.	30% of lot width	600.2a.1.f)	(Yes) No
Rear Yard Unoccupied	- ft.	- % 14926 ft.	44.4 %	8402 ft.	30% of lot area	600.2a.1.g)	(Yes) No
Rear Setback	- ft.	- % 107.2 ft.	38.6 %	48.2 ft.	30% of lot depth	600.2a.1.h)	(Yes) No

4. Coverage & Height Requirements:	Existing	Proposed	R-3	R-4	R-5	R-6	See Section	Conforms?	
Building Coverage	- s.f.	- % 2910 s.f.	10.47 %	13%	14%	18%	23%	600.2a.2.a)	(Yes) No
Lot Coverage	- s.f.	- % 7610 s.f.	27.37 %	36%	35%	40%	40%	600.2a.2.b)	(Yes) No
Building Height - ft.	ft.	ft.	32	32	32	32	32	600.2a.2.c)	(Yes) No
Building Height In R-3 & R-4 - ft. (where roof pitch > 8 in 12)	- ft.	- ft.	35'-0"	35	35			600.2a.2.c)	Yes No
Floor Area Ratio - Residential	- s.f.	- % 5697 s.f.	20.49 %	25%	25%	30%	30%	600.2a.2.d)	(Yes) No

5. Accessory Uses: (Complete applicable lines only)	Existing	Proposed	R-3	R-4	R-5	R-6	See Section	Conforms?		
Building Coverage	s.f.	%	s.f.	%	13%	14%	18%	23%	600.2a.2.a)	Yes No
Lot Coverage	s.f.	%	s.f.	%	36%	35%	40%	40%	600.2a.2.b)	Yes No
Minimum Accessory Structure Side Setback - ft.	ft.	ft.	- ft.	12	12			600.2a.3.a)	Yes No	
Minimum Accessory Structure Rear Setback - ft.	ft.	ft.	ft.	12	12			600.2a.3.b)	Yes No	
Minimum Accessory Structure Rear Setback - Corner Lot	ft.	ft.	ft.	2x the required Front Setback (80 ft. min.)	505			600.2a.3.c)	Yes No	
Minimum Accessory Structure Height - ft.	ft.	ft.	ft.	18	18			600.2a.3.c)	Yes No	
Accessory Use Mechanical Setback - ft.	ft.	ft.	ft.	36	36			600.2a.3.c)	Yes No	
Minimum Detached Garage Setback - ft.	ft.	ft.	ft.	12	12	3	3	600.2a.3.d)	Yes No	
Driveway Setback - ft.	ft.	ft.	ft.	5	5	0	0	600.2g	Yes No	
Number of Garage Spaces - max.				4	3	2	2	600.2a.3.d)	Yes No	
Rear Yard Area - sq. ft.	- ft.	- ft.	14926					600.2a.3.e)	(Yes) No	
Maximum Accessory Use Coverage	s.f.	%	s.f.	%	40% of Rear Yard Area			600.2a.3.f)	Yes No	
Maximum Accessory Use Coverage - Corner Lot	s.f.	%	s.f.	%	7% of Lot Area			600.2a.3.f)	Yes No	
Rear Yard Unoccupied	s.f.	%	14926 s.f.	44.4 %	s.f.			600.2a.1.g)	(Yes) No	
Front Yard Area - sq. ft.	- ft.	- ft.	7218					600.2a.3.g)	(Yes) No	
Maximum Paved/Impervious Surface in Front Yard	- s.f.	- %	1311 s.f.	18.16 %	30% of Front Yard Area			600.2a.3.h)	(Yes) No	

Prepared by:

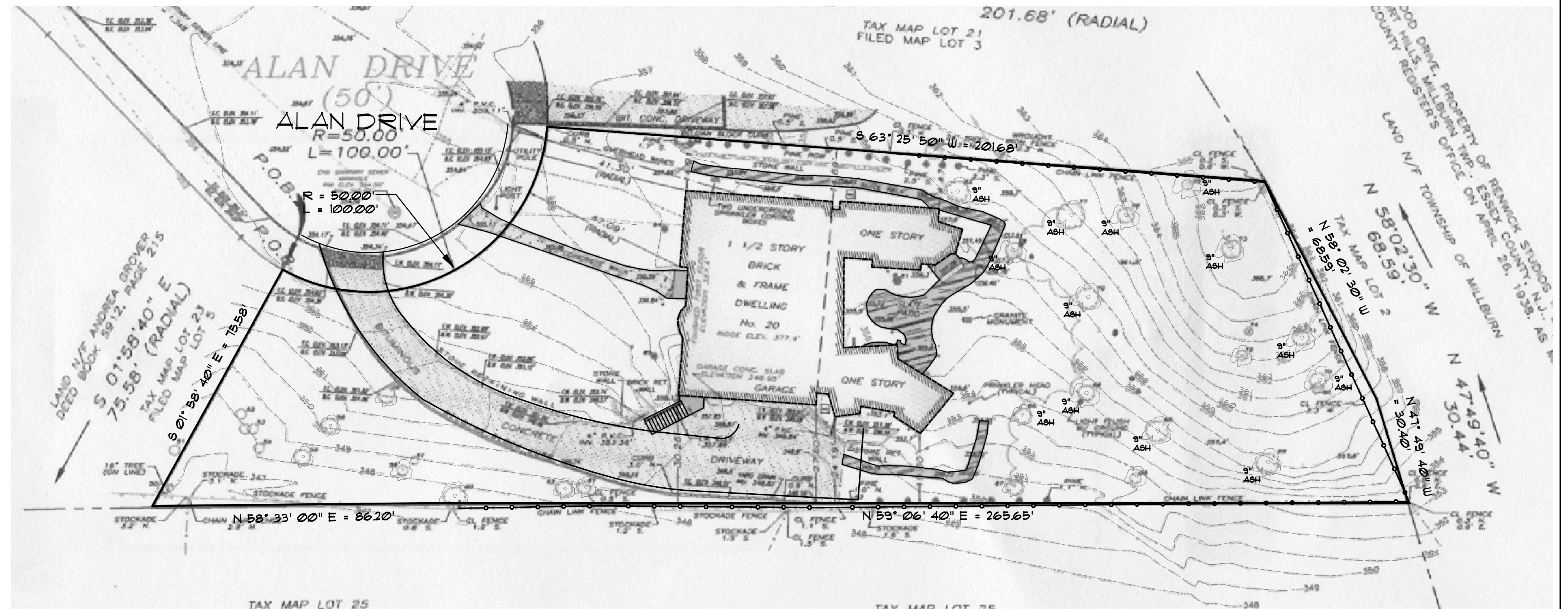
Signature of Applicant

Date

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#### SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN 60 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH NJ STANDARDS.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN 10 DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED.
- IMMEDIATELY AFTER INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUIVALENT AT A RATE OF 2 TONS PER ACRE IN ACCORDANCE WITH STATE STANDARDS AND MUNICIPAL STANDARDS.
- TEMPORARY BERRMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS IN ACCORDANCE WITH SECTION 421 OF STATE STANDARDS.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH STANDARDS FOR PERMANENT VEGETATIVE COVER. SPECIFIED RATES AND LOCATIONS SHALL BE ON AN APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENT STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS.
- STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF THE FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHOULD BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE.
- IF REQUIRED BY THE TOWNSHIP, A CRUSHED STONE VEHICLE WHEEL CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 2" CRUSHED STONE, WILL BE AT LEAST 25'x50' AND SHOULD BE UNDERLAIN WITH SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED. SEE DETAIL THIS SHEET.
- MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE LOCAL AUTHORITY.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.

- ALL CATCH BASINS WILL BE PROTECTED WITH AN INLET FILTER, IF APPLICABLE.
  - ALL STORM DRAIN OUTLETS WILL BE STABILIZED, AS REQUIRED BEFORE DISCHARGE POINTS BECOME OPERATIONAL.
  - ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPROMISED OF SUITABLE SEDIMENT FABRIC.
  - DURING AND AFTER CONSTRUCTION, THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATIVE COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL PRECLUDE WHEN COMPLETED WORK IS APPROVED BY THE MUNICIPALITY.
  - ALL TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES OR SEDIMENT BARRIERS.
  - THE MUNICIPAL AUTHORITY MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
  - ALL WORK TO COMPLY WITH THESE NOTES.
  - TEMPORARY SEEDING TO BE SAME AS PERMANENT SEEDING.
  - ALL EXCESS EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE TO AN APPROVED SITE.
- #### CONSTRUCTION SEQUENCE
- INSTALL SOIL EROSION CONTROL DEVICES.
  - ROUGH GRADE SITE.
  - STABILIZE SOIL AND STOCK PILES (IF NEEDED).
  - INSTALL DRAINAGE.
  - FINE GRADE SITE.
  - INSTALL RETAINING WALLS.
  - INSTALL CURBING AND PAVEMENT.
  - INSTALL PERMANENT VEGETATION.
  - REMOVE SOIL EROSION CONTROL DEVICES.
- #### PERMANENT STABILIZATION SPECIFICATIONS
- APPLY TOPSOIL TO A 4" DEPTH.
  - APPLY LIMESTONE AT A RATE OF 2 TONS PER ACRE.
  - APPLY FERTILIZER (10-20-10) OR EQUAL AT 400 LBS. / ACRE.
  - APPLY GRASS SEED MIXTURE OF:
    - PERENNIAL DRYGRASS AT 10 LBS / ACRE
    - CHEWING RED FESCUE AT 15 LBS / ACRE
    - KENTUCKY BLUEGRASS AT 25 LBS / ACRE
    - SPREADING FESCUE AT 15 LBS. / ACRE.
  - MULCHING SHALL BE UNROTTED SALT HAY OR SMALL GRAIN STRAW AT 10-20 LBS. PER 1000 SF.
  - MULCH ANCHOR EMULSIFIED ASPHALT (85-1 OR EQUAL) AT 363 GAL/ACRE.

#### LIST OF DRAWINGS

NO.	DRAWING	DATED
A-01	COVER SHEET, ZONING CALCULATIONS	1-23-13
A-02	SITE PLAN, INFORMATION AND DETAILS	1-23-13
A-03	SITE PLAN, FRONT SETBACK STUDY	1-23-13

#### ARCHITECTURAL DRAWINGS

NO.	DRAWING	DATED
A-1	BASEMENT PLAN	1-23-13
A-2	FIRST FLOOR PLAN	1-23-13
A-3	SECOND FLOOR PLAN	1-23-13
A-4	FRONT ELEVATION	1-23-13
A-5	RIGHT SIDE ELEVATION, LEFT SIDE ELEVATION, WINDOW SCHEDULE	1-23-13
A-6	REAR ELEVATION	1-23-13
A-7	WALL SECTION, PLUMBING RISER DIAGRAM, FRAMING NOTES	1-23-13
A-8	ROOF PLAN	1-23-13
A-9	BUILDING SECTION, GAS RISER DIAGRAM, ENERGY CALCULATIONS	1-23-13

1-24-13 MISCELLANEOUS REVISIONS

**HEINTZ & FIORE • LLC**  
ARCHITECTS • AIA  
87 woodland road  
short hills • new jersey • 07078  
973-467-1240 fax 973-376-0963

BRONSHTEYN RESIDENCE  
20 ALAN DRIVE  
SHORT HILLS, NJ 07078

drawing title :  
ZONING CALCULATIONS  
AND NOTES,  
ORIGINAL SURVEY

ROBERT B. HEINTZ • AIA  
architect : NJ - C 4352  
planner : NJ - U 01553  
DONALD R. FIORE • AIA  
architect : NJ - A1 10410

job no. : 21244  
date : 01-23-13  
scale : AS NOTED  
drawing :  
A-0.1

20 ALAN DRIVE , SHORT HILLS, NEW JERSEY